

**IMPORTANT NOTE**  
 This plan was prepared for Dexiosis Properties Benalla Pty Ltd as a proposal only and should not be used for any other purpose with the consent of KLM Spatial.

The dimensions, areas and total number of lots shown hereon are subject to field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation that could cause a change to this plan.

The Title boundaries shown hereon have been derived from KLM Spatial Plan of Survey Ref: 10948\_DE\_VI dated 1/6/2022. Refer to the Plan of Survey for further details.

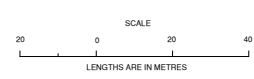
- Limitations**
- Concept plan based on unregistered plan of subdivision PS905370B. Title is subject to change.
  - Building Envelopes have not been considered in this layout.
  - Tree Protection Zones (TPZ) have not been considered in this layout.
  - Layout subject to planning approval.

KLM Spatial accept no responsibility for reliance on this plan for any financial dealings involving the land.

This note is an integral part of this plan.

<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen;"></span>	Child Care Centre
<span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span>	Road Reserve
<span style="display:inline-block; width:15px; height:15px; background-color:lightcoral;"></span>	Lots 450m <sup>2</sup> - 499m <sup>2</sup>
<span style="display:inline-block; width:15px; height:15px; background-color:lightpink;"></span>	Lots 500m <sup>2</sup> - 549m <sup>2</sup>
<span style="display:inline-block; width:15px; height:15px; background-color:lightyellow;"></span>	Lots 550m <sup>2</sup> - 599m <sup>2</sup>
<span style="display:inline-block; width:15px; height:15px; background-color:lightorange;"></span>	Lots 600m <sup>2</sup> - 699m <sup>2</sup>
<span style="display:inline-block; width:15px; height:15px; background-color:orange;"></span>	Lots 700m <sup>2</sup> - 799m <sup>2</sup>
<span style="display:inline-block; width:15px; height:15px; background-color:darkorange;"></span>	Lots 800m <sup>2</sup> and above

<b>Zoning:</b>	GRZ1
<b>Planning overlays relevant to Site:</b>	NIL
<b>Total Area of Land in this plan:</b>	6.285ha
<b>Road Reserve Area:</b>	1.416ha
<b>Total Length of Roads:</b>	807.1m
<b>Child Care Centre:</b>	402m <sup>2</sup>
<b>Salesable Land Area (Excluding Child Care Centre):</b>	4.467ha
<b>Lot Yield:</b>	75
<b>Average Lot Size:</b>	596m <sup>2</sup>



Client: Dexiosis Properties  
 Benalla Pty Ltd  
 Title Details:  
 Volume: 11827 Folio: 857  
 Lot ID on PS905370B  
 Reference: 10948 PP01  
 Plan Date: 14/6/2022  
 Version: 1.700  
 Sheet: 1 of 1  
 Sheet Size: A1

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# PLANNING PERMIT APPLICATION

## Proposed Childcare Centre

57 Stock Route, Mansfield

Project No. 21033

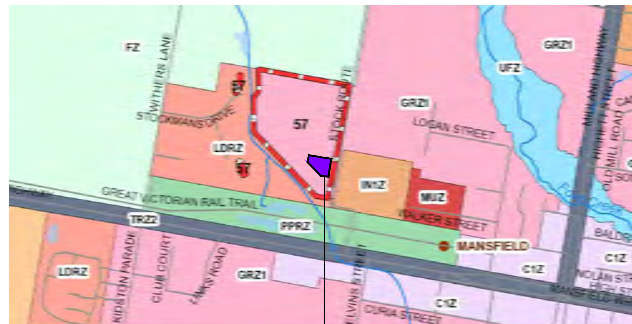
June 2022

- TP.000 Drawing List / Location / Planning Scheme Zone & Overlays
- TP.001 Proposed Site Plan
- TP.002 Proposed Floor Plan
- TP.003 Proposed Elevations / Streetscape Elevation



Subject Site

Zone Map



Subject Site

- |  |                                   |  |                           |
|--|-----------------------------------|--|---------------------------|
|  | C1Z - Commercial 1                |  | GRZ - General Residential |
|  | I1Z - Industrial 1                |  | MUZ - Mixed Use           |
|  | PPRZ - Public Park and Recreation |  | UFZ - Urban Floodway      |
|  | Railway station                   |  | Water course              |
|  | LDRZ - Low Density Residential    |  |                           |

Designated Bushfire Prone Overlay



Subject Site

- Designated Bushfire Prone Areas

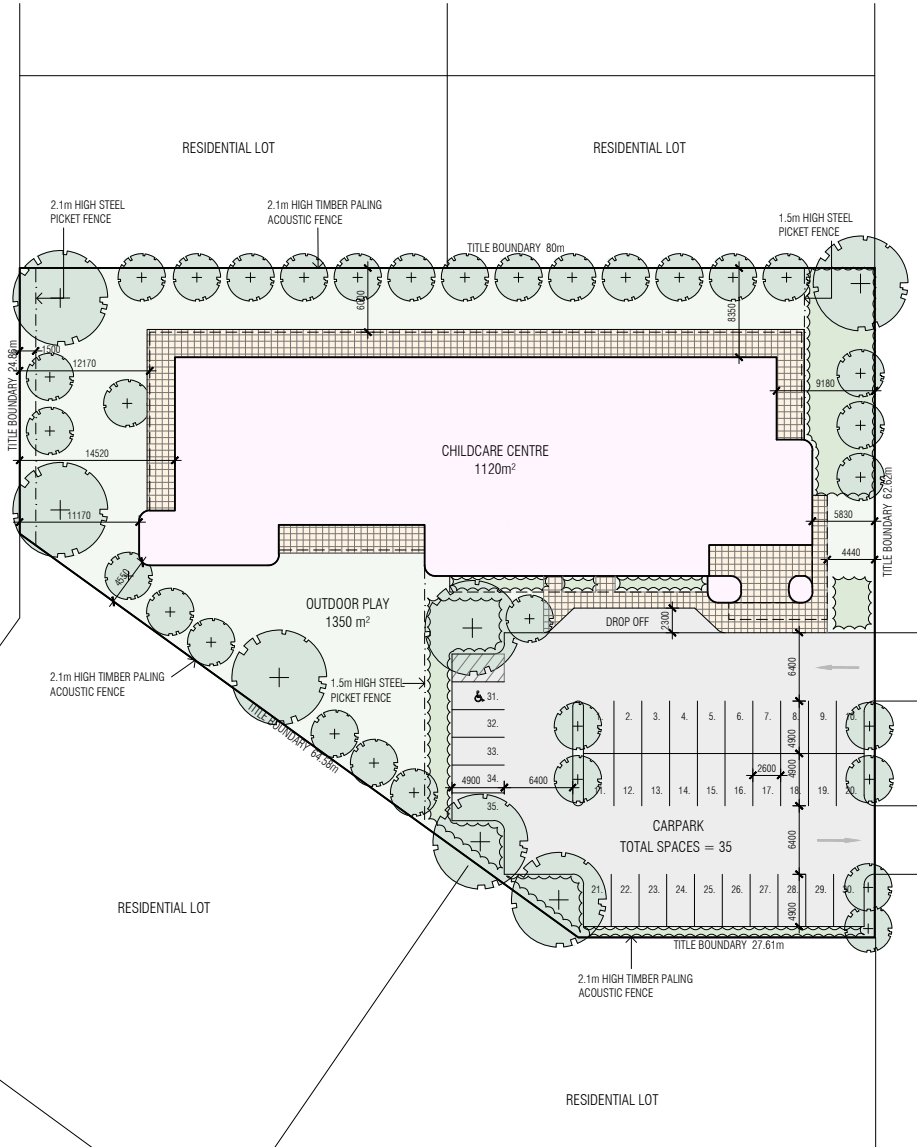
RESIDENTIAL LOT

RESIDENTIAL LOT

ROAD

RESIDENTIAL LOT

RESIDENTIAL LOT



### DEVELOPMENT DATA

Site area	4,021m <sup>2</sup>
Building Coverage	1,120m <sup>2</sup> (27.9%)
Site Permeability	1,510m <sup>2</sup> (37.6%)
No. Children	164
No. of Activity Rooms	8
Total Outdoor Play Area	1,350 m <sup>2</sup>
Total Gross Floor Area	1,120m <sup>2</sup>
Car parking total	35 (inclusive of 1 x disabled space)

Rev	Description	Date

**mccabe architects**  
+61 3 94156377  
office@mccabe architects.com.au  
www.mccabe architects.com.au

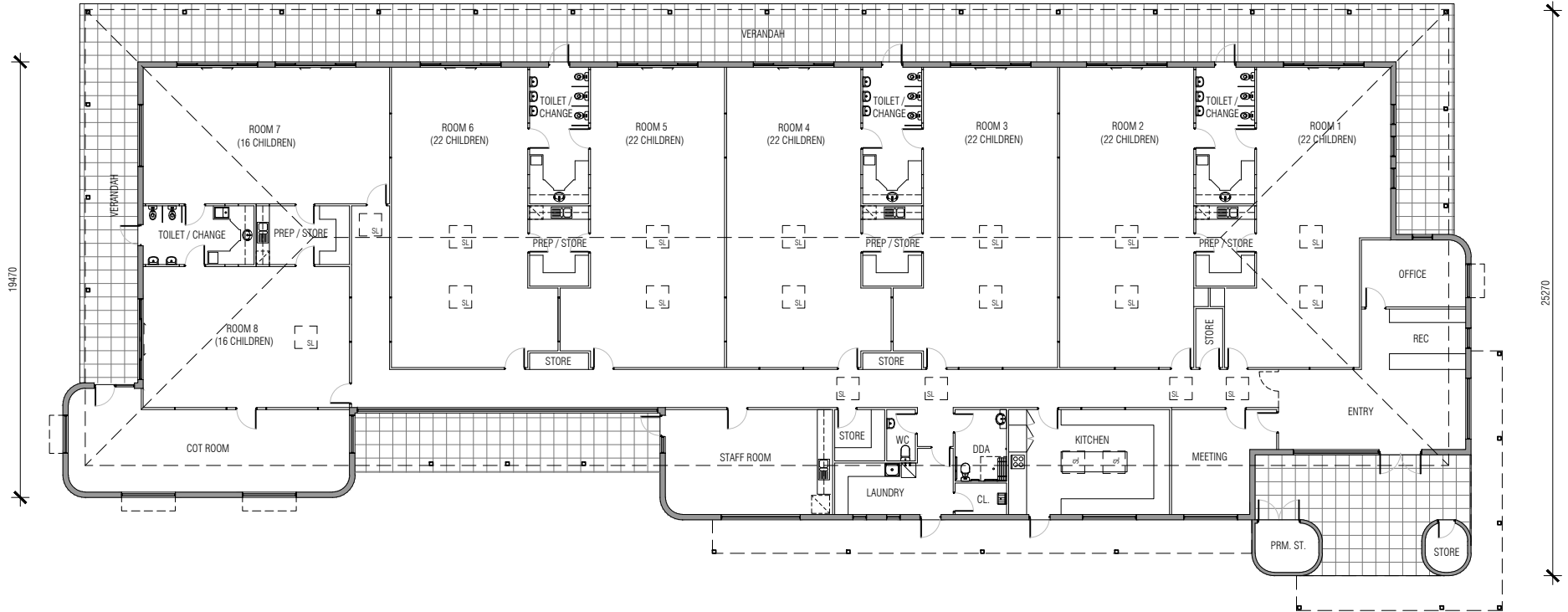
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Proposed Childcare Centre  
57 Stock Route, Mansfield  
Project No 21033  
Drawn By sl

Proposed Site Plan  
Date June 2022

Dwg No **TP.001**

62990



Rev	Description	Date

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Proposed Childcare Centre  
 57 Stock Route, Mansfield

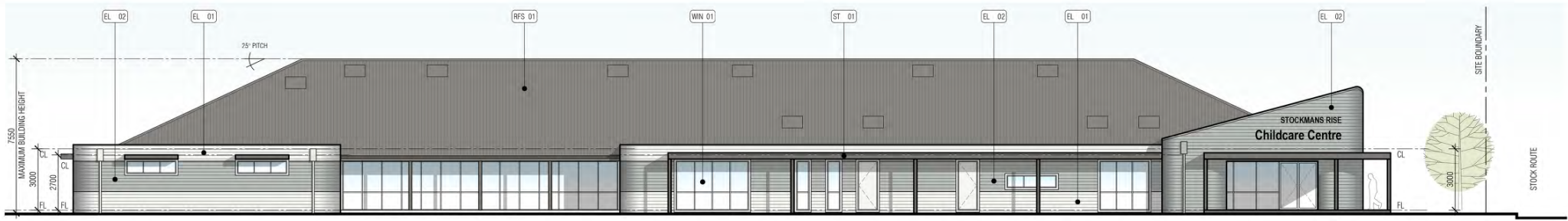
Project No 21033  
 Drawn By sl

Proposed Floor Plan

Date June 2022

Dwg No **TP.002**





SOUTH ELEVATION (FRONT)



NORTH ELEVATION (SIDE)









EAST ELEVATION (FRONT/ STREETSCAPE)

**MATERIALS FINISHES :**



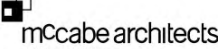
WEST ELEVATION (REAR)

					
<b>EL 01</b>	<b>EL 02</b>	<b>EL 03</b>	<b>WIN 01</b>	<b>ST 01</b>	<b>RFS 01</b>
COLORBOND PROFILE SHEETING (HORIZONTAL) 01 'Surfmist' (or similar)	COLORBOND PROFILE SHEETING (HORIZONTAL) 02 'Windspray' (or similar)	PANELISED COMPRESSED SHEET 'Surfmist' (or similar)	ALUMINIUM FRAMED WINDOWS 'Surfmist' (or similar)	STEEL FRAMED PERGOLA 'Woodland Grey' (or similar)	COLORBOND PROFILE ROOF SHEETING 'Woodland Grey' (or similar)

**FENCING :**

	
<b>TIMBER PALING ACOUSTIC FENCING</b> 2.1m high, capped and expressed posts	<b>STEEL PICKET FENCING</b> 1.5m high with timber posts interspersed (2.1m high at rear)

Rev	Description	Date		



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Proposed Childcare Centre  
57 Stock Route, Mansfield

**Proposed Elevations & Streetscape Elevation**  
Dwg No **TP.003**

Project No 21033  
Drawn By sl

Date June 2022

1:200@A3





INDICATIVE PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE		INSTALLATION
			HEIGHT (m)	SPREAD (m)	POT SIZE
<b>Trees</b>					
Ep	<i>Eucalyptus pauciflora</i>	Australian Blackwood	4-8m	4-8m	45L
EO	<i>Eucalyptus ovata</i>	Swamp Gum	8-20m	10-20m	45L
Pa	<i>Pyrus calleryana 'Bradford'</i>	Bradford Capital Pear	10-12m	7-9m	45L
Pc	<i>Pistacia chinensis</i>	Chinese Pistachio	6-8m	6-8m	45L
<b>TURFIES</b>					
Gv	<i>Grevillea</i>	Royal Mantle	0.1-0.2m	3-6m	140mm
Pl	<i>Poa labillardieri</i>	Tussock Grass	0.3-0.5m	0.3-0.5m	140mm

PROPOSED STREET TREES



LEGEND

- SITE BOUNDARY
- CONTOURS
- PROPOSED EXOTIC STREET TREES REFER TO PLANT SCHEDULE
- PROPOSED NATIVE STREET TREES REFER TO PLANT SCHEDULE
- PROPOSED FEATURE TREES (IRONBARK)
- CONCRETE FOOTPATHS / CROSSOVERS SHOWN INDICATIVELY, TO ENGINEER'S DETAILS
- CONCRETE DRIVEWAYS SHOWN INDICATIVELY, TO ENGINEER'S DETAILS
- PROPOSED ROADS SHOWN INDICATIVELY, TO ENGINEER'S DETAILS
- LAWN NATURE STRIP

PROJECT:  
**STOCKMANS RISE RESIDENTIAL DEVELOPMENT**

CLIENT:  
**DEXIOSIS MANSFIELD PTY LTD**

TITLE:  
**MASTERPLAN**

DRAWN BY:  
DZ/EH

CHECKED BY:  
BP

JOB NO.  
MANSTO

DRAWING NO.  
LSK101 (1 of 3)

REVISION NO.  
B

DATE  
06/07/2022

NOT FOR CONSTRUCTION  
TO BE READ IN CONJUNCTION WITH ARCHITECTS / ENGINEERS DRAWINGS AND SPECIFICATIONS, SITE SURVEY AND ARBORIST'S INFORMATION  
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SCALE:  
1:750 at A1  
1:1500 at A3

REVISIONS

REVISION	DATE	DESCRIPTION
A	22/06/2022	DRAFT
B	06/07/2022	TOWN PLANNING

LANDSCAPE ARCHITECT

**PAPWORTH DESIGN**

PAPWORTH DESIGN PTY LTD  
brandon@papworthdesign.com.au  
0404 482567



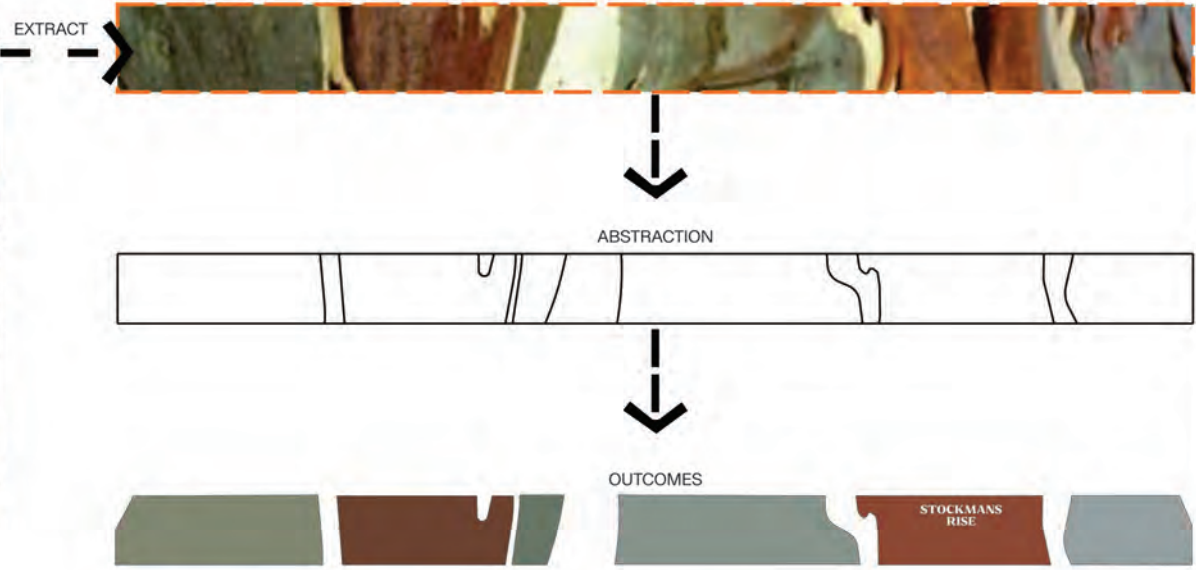
# DESIGN INSPIRATION



SNOW GUM



RED IRONBARK



ILLUSTRATIVE IMAGE

## LEGEND

PROJECT:  
STOCKMANS RISE  
RESIDENTIAL DEVELOPMENT

TITLE:  
ENTRY FEATURE

CLIENT:  
DEXIOSIS MANSFIELD PTY LTD

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ENGINEERS DRAWINGS AND SPECIFICATIONS, SITE  
SURVEY AND ARBORIST'S INFORMATION  
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DZ/BP  
DRAWING NO.  
LSK102  
(2 of 3)

SCALE:

CHECKED BY:  
BP  
REVISION NO.  
B

JOB NO.  
MANSTO  
DATE  
06/07/2022

## REVISIONS

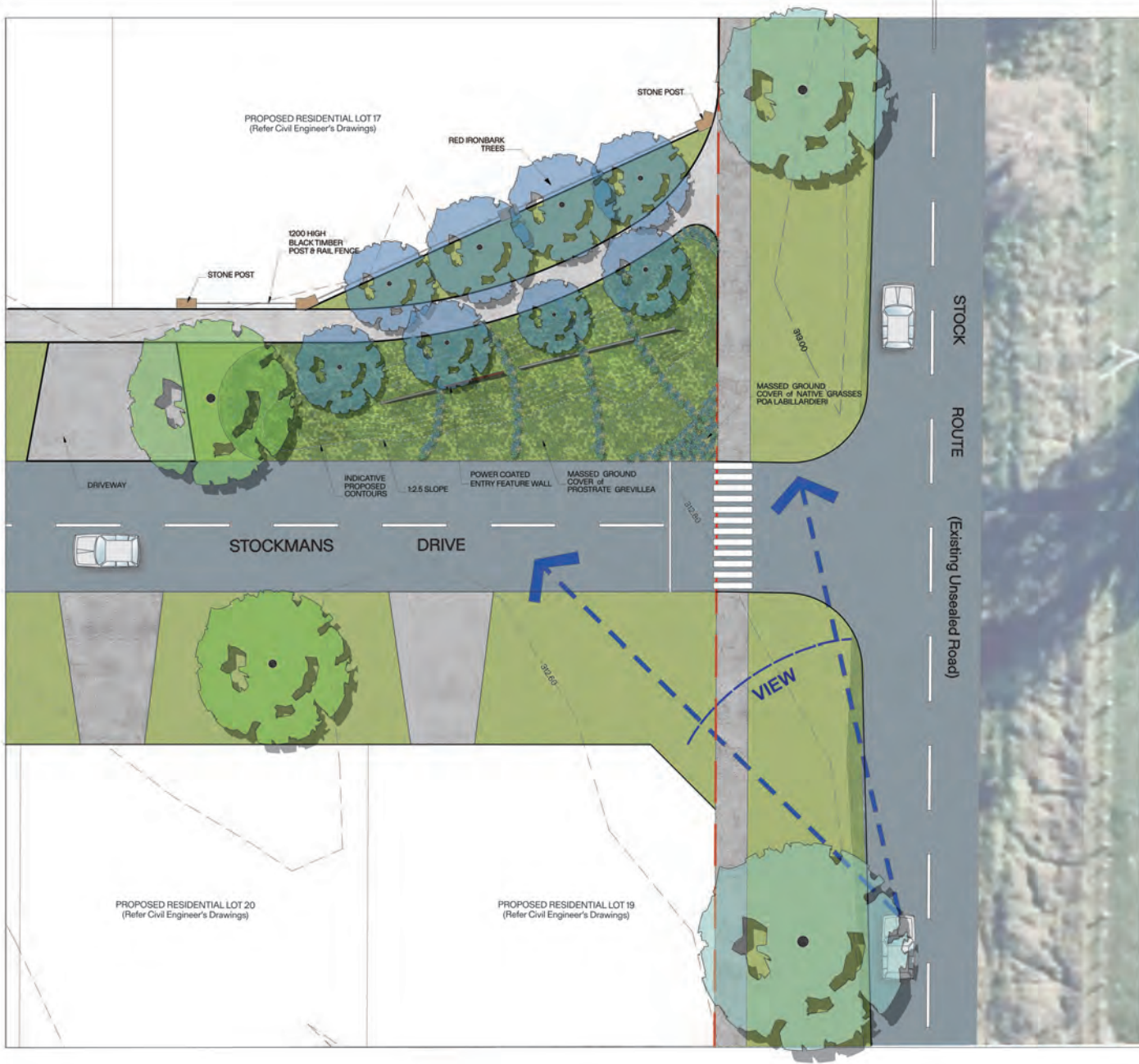
REVISION:	DATE:	DESCRIPTION:
A	22/06/2022	DRAFT
B	06/07/2022	TOWN PLANNING

LANDSCAPE ARCHITECT

**PAPWORTH  
DESIGN**

PAPWORTH DESIGN PTY LTD  
brockham@papworthdesign.com.au  
0404 482587





PROPOSED TREES



Eucalyptus pauciflora "Snow Gum"



Eucalyptus sideroxylon "Red Ironbark"

PROPOSED GROUND COVER



Grevillea "Royal Mantle"



Poa labillardieri "Tussock Grass"

LEGEND

- - - SITE BOUNDARY
- CONTOURS
- PROPOSED NATIVE STREET TREES (REFER TO PLANT SCHEDULE)
- PROPOSED FEATURE TREES (IRONBARK)
- CONCRETE FOOTPATHS / CROSSOVERS SHOWN INDICATIVELY, TO ENGINEER'S DETAILS
- CONCRETE DRIVEWAYS SHOWN INDICATIVELY, TO ENGINEER'S DETAILS
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PROJECT:  
**STOCKMANS RISE  
RESIDENTIAL DEVELOPMENT**

TITLE:  
**ENTRY FEATURE**

CLIENT:  
**DEXIOSIS MANSFIELD PTY LTD**

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EH/DZ/BP

CHECKED BY:  
BP

REVISION NO.  
B

JOB NO.  
MANSTO

DATE  
06/07/2022

SCALE:  
1:100 at A1  
1:200 at A3

REVISIONS

REVISION	DATE	DESCRIPTION
A	22/06/2022	DRAFT
B	06/07/2022	TOWN PLANNING

LANDSCAPE ARCHITECT

**PAPWORTH  
DESIGN**

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